SITE PLAN AND NOTES SITE PLAN AND NOTES - CONTINENTAL DRIVE

3D VIEWS - CONTINENTAL DRIVE 3D VIEWS - CONTINENTAL DRIVE Copy 1

FOUNDATION PLAN

DIMENSIONED PLANS

ROOF PLAN

BUILDING ELEVATIONS

SECTION/ DETAILS Interior elevations

ABBREVIATIONS			
ACT	ACOUSTICAL CEILING TILE	N/A	NOT APPLICABLE
AFF	ABOVE FINISH FLOOR	O.C.	ON CENTER
AHU AL	AIR HANDLING UNIT ALUMINUM	OCC PF	OCCUPANT PREFINISHED
CI	CONTINUOUS INSULATION	REF	REFERENCE
CJ	CONTROL JOINT	REQ	REQUIRED
DRY	DRYER	SF	SQUARE FOOT / FEET
ELEC	ELECTRICAL	SIM	SIMILAR
EQ.	EQUAL	SS	STAINLESS STEEL
ETR	existing to remain	STD	STAINED
EXIST	existing	STL	STEEL
FT	FOOT / FEET	TLT	TOILET
F.V.	FIELD VERIFY	UNO	unless noted otherwis

WASH

Washer

WOOD

WHEELCHAIR

		DOOR SCH	IEDULE
Door	D	oor	
Number	Width	Height	Comments
Exterior		T	
100A	3' - 0 5/16"	7' - 11 1/2"	
100B	18' - 1"	7' - 11"	Garage Door
100C	15' - 9"	7' - 11 1/2"	
100D	3' - 0"	9' - 6"	
Interior			
101A	4' - 0"	8' - 0"	Cased opening
104A	16' - 0"	9' - 0"	
106A	3' - 0"	8' - 0"	
107A	2' - 4"	8' - 0"	
108A	2' - 6"	8' - 0"	
200A	3' - 0"	8' - 0"	Cased opening
200B	2' - 8"	8' - 0"	
201A	2' - 4"	8' - 0"	
202A	2' - 4"	8' - 0"	
203A	2' - 8"	8' - 0"	
204A	2' - 4"	8' - 0"	
205A	2' - 4"	8' - 0"	
206A	2' - 8"	8' - 0"	
207A	2' - 6"	8' - 0"	
208A	2' - 4"	8' - 0"	
209A	2' - 6"	8' - 0"	
210A	3' - 0"	8' - 0"	Pocket Door
210B	3' - 0"	8' - 0"	Pocket Door
211A	2' - 4"	8' - 0"	
212A	3' - 0"	8' - 0"	
212B	2' - 4"	8' - 0"	
212C	5' - 9"	8' - 0"	Cased opening
212D	2' - 4"	8' - 0"	Glass Shower Door
213A	3' - 0"	8' - 0"	Cased opening
213B	2' - 8"	8' - 0"	
	etractable Scree		
S1	20' - 6"	9' - 6"	Motorized Retractable Screen

	Windo	w Schedule	
Mark	Width	Height	Head Heigh
101	2' - 8"	6' - 0"	8' - 0"
102	2' - 8"	6' - 0"	8' - 0"
103	2' - 8"	6' - 0"	8' - 0"
104	5' - 0"	6' - 0"	8' - 0"
105	2' - 8"	6' - 0"	8' - 0"
106	2' - 8"	6' - 0"	8' - 0"
107	2' - 8"	6' - 0"	8' - 0"
201	2' - 4"	4' - 0"	8' - 0"
202	2' - 8"	6' - 0"	9' - 0"
203	2' - 8"	6' - 0"	9' - 0"
204	2' - 8"	6' - 0"	9' - 0"
205	2' - 8"	6' - 0"	8' - 0"
206	2' - 8"	6' - 0"	8' - 0"
207	2' - 8"	6' - 0"	8' - 0"
208	2' - 8"	6' - 0"	8' - 0"
209	2' - 8"	6' - 0"	8' - 0"
210	2' - 8"	6' - 0"	8' - 0"
211	2' - 8"	6' - 0"	8' - 0"
212	2' - 8"	6' - 0"	8' - 0"
213	2' - 8"	6' - 0"	8' - 0"
214	2' - 8"	6' - 0"	8' - 0"
215	2' - 8"	6' - 0"	8' - 0"
216	2' - 8"	6' - 0"	8' - 0"
217	2' - 8"	6' - 0"	8' - 0"



GENERAL PROJECT NOTES:

GRAB BAR

GYPSUM

HEIGHT

HOUR MAXIMUM MECHANICAL

METAL MINIMUM

GYP

HGT

HR

MTL

- A. CONTRACTOR SHALL VISIT PROPERTY AND REVIEW EXISTING CONDITIONS PRIOR TO START OF WORK. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING BID.
- B. WORK SHALL MEET THE REQUIREMENTS SET FORTH BY THE LATEST EDITION OF CODES STATED IN THE CODE ANALYSIS AS WELL AS THE STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. C. ALL MATERIALS AND EQUIPMENT REFERRED TO IN LEGENDS, GENERAL NOTES, OR
- UNLESS NOTED OTHERWISE TO BE FURNISHED AND INSTALLED BY OWNER. CONTRACTOR SHALL EMPLOY SKILLED LABOR TO PERFORM THE SCOPE OF WORK IN ACCORDANCE WITH BEST PRACTICES OF THE TRADE FOR ALL CATEGORIES.

KEYNOTES SHALL BE NEW AND INSTALLED UNDER THE SCOPE OF THIS PROJECT

- CONTRACTOR SHALL COORDINATE THEIR WORK IN ACCORDANCE WITH OTHER TRADES AND SUBCONTRACTORS TO FACILITATE A SMOOTH WORK PROGRESSION.
- CONTRACTOR SHALL SECURE OWNER'S APPROVAL OF ANY SUBSTITUTION PRODUCTS PRIOR TO INSTALLATION OF WORK. OWNER SHALL SUPPLY TO CONTRACTOR ANY SUBSTITUTIONS IN PROMPT MANNER TO CONTINUE
- SMOOTH WORK PROGRESSION. G. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING ALL REQUIRED PERMITS AND APPROVALS FROM STATE AND AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL NOTIFY AND SCHEDULE ALL REQUIRED INSPECTIONS AND APPROVALS WITH THE VARIOUS AUTHORITIES HAVING
- CONTRACTOR SHALL PROVIDE AND MAINTAIN SUITABLE PROTECTION FOR ALL EMPLOYEES, THE PUBLIC, AND VARIOUS OCCUPANTS DURING THE COURSE OF WORK. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE JOB SAFETY REGULATIONS.
- CONTRACTOR SHALL REMOVE ALL DEBRIS, TRASH, AND OTHER MATERIALS RESULTING FROM THE SCOPE OF WORK TO PROVIDE A CLEAN ATMOSPHERE FOR THE OWNER. ALL SUCH MATERIAL MUST BE DISPOSED OF IN A LEGAL MANNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAID REMOVALS AND DISPOSALS.

- J. CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN A NEAT AND ORDERLY
- CONTRACTOR SHALL SUBMIT ALL SAMPLES AND COLOR SELECTIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK AND SHALL BRING ANY DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF
- THE ARCHITECT. CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER PRIOR TO SHUT DOWN.
- N. THESE DOCUMENTS HAVE BEEN PROVIDED EXCLUSIVELY FOR BASIC CONSTRUCTION PURPOSES. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, WORKMANSHIP, EQUIPMENT, HARDWARE, ETC WHETHER IMPLIED OR EXPLICITLY STATED.

PROJECT CONTACTS:

CLIENT

OWNER MCH Construction of TN, LLC 5313 Indiana Ave Nashville, TN 37209 Phone: 615.979.0254 Contact: Matthew Haynes

DESIGNERS

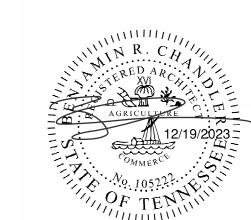
ARCHITECT

Daniels + Chandler Architects PLLC 611 Commerce Street, Suite 2712 Nashville, Tennessee 37203 Phone: 662.801.0220 Contact: Blake Daniels, AIA TN License No: 106244

New Residence for:

MCH Construction of TN

515A Continental Drive Nashville, TN 37209

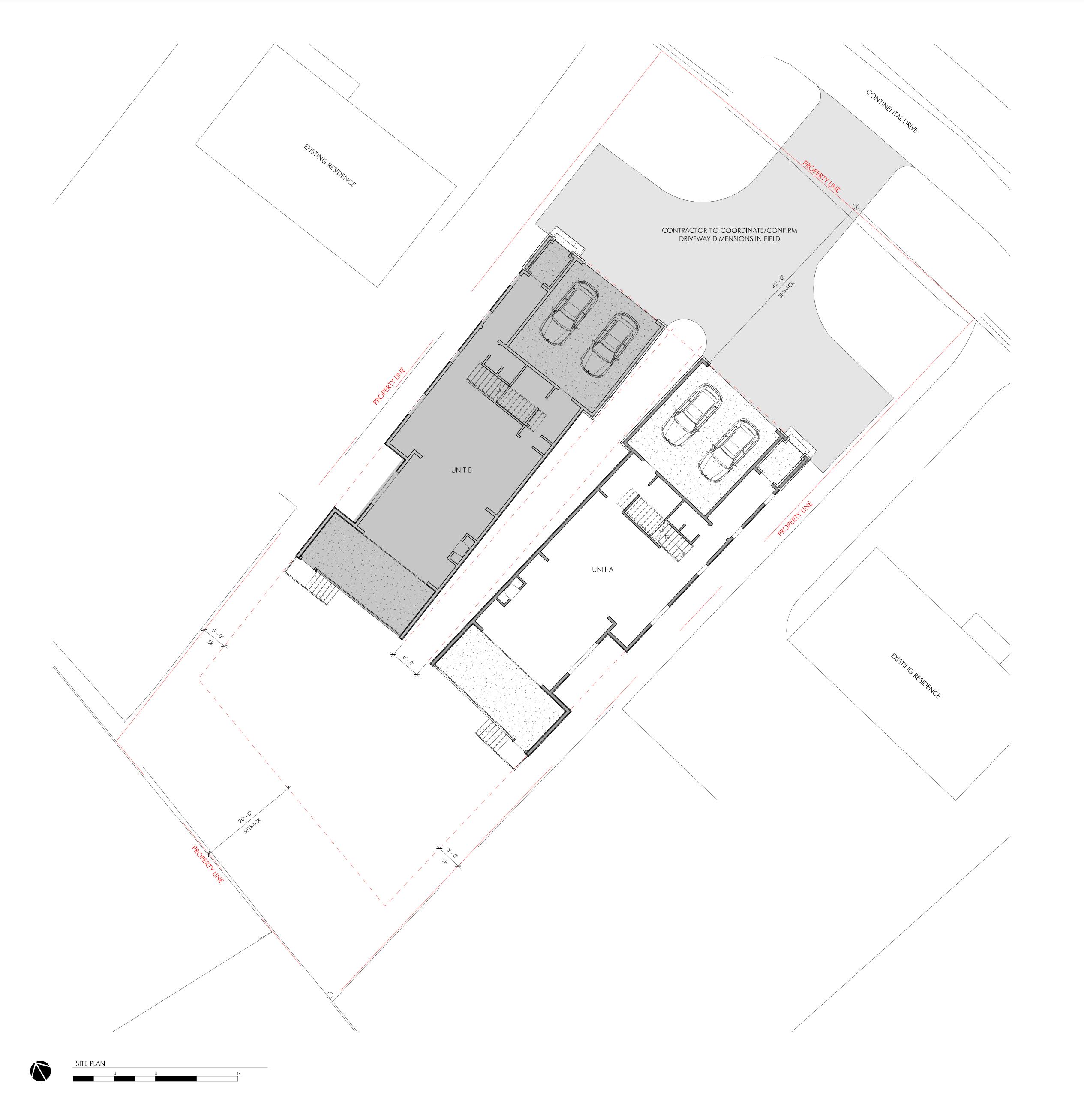


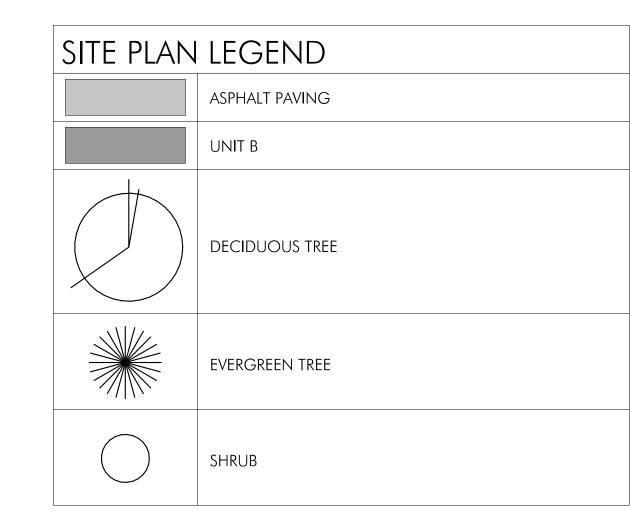
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Do Not Scale Drawings. Contractor must verify all dimensions prior to

Architects, PLLC.





GENERAL NOTES

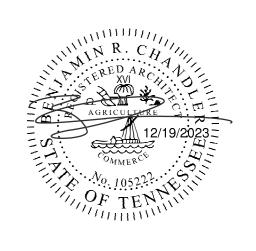
- A. CONTRACTOR SHALL COORDINATE AND MAINTAIN ALL BUILDING SETBACKS AS REQUIRED BY THE LOCAL ZONING. CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF BUILDING WITHIN THE SETBACK LIMITS.
- B. CONTRACTOR SHALL GRADE THE SITE AS NEEDED TO PROVIDE ADEQUATE DRAINAGE OF WATER AWAY FROM THE BUILDING.
- C. CONTRACTOR SHALL COORDINATE ALL UNDERGROUND SITE DRAINAGE PIPING WITH SITE GRADE TO ENSURE POSITIVE SLOPE TO OUTLETS.
 D. CONTRACTOR TO REVIEW DRAWINGS AND NOTIFY OWNER AND
- ARCHITECT IF ANY CONFLICTS ARISE.

 E. THE CONTRACTOR SHALL CLEAR THE SITE OF ONLY TREES IN THE
- CONSTRUCTION AREA.

 F. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL
 STANDARDS TO PROTECT AGAINST RUNOFF AS REQUIRED BY
- LOCAL AHJ.

 G. ALL CONDITIONS TO REMAIN AS IS ON SITE SHALL BE THE
- RESPONSIBILITY OF THE CONTRACTOR.
- H. CONTRACTOR SHALL ENSURE ALL WORK ON SITE IS IN ACCORDANCE WITH AHJ AND/OR SUBDIVISION REQUIREMENTS.
- I. DOWNSPOUTS SHALL HAVE AT MINIMUM A SPLASH BLOCK
 SLOPED AWAY FROM THE STRUCTURE, OR BE CONNECTED TO
 UNDERGROUND COLLECTION SYSTEM.
- J. IF IRRIGATION SYSTEM IS PROVIDED. IRRIGATION SYSTEM SHALL USE A SECOND METER THAT ONLY SERVICES IRRIGATION NEEDS.
- K. THE CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF ALL REQUIRED SITEWORK.
- L. THE CONTRACTOR SHALL CONNECT WITH ALL UTILITIES AND PAY FOR ALL CONNECTION AND TAPPING FEES.





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MCH Construction of TN

PROJECT No. 23205A

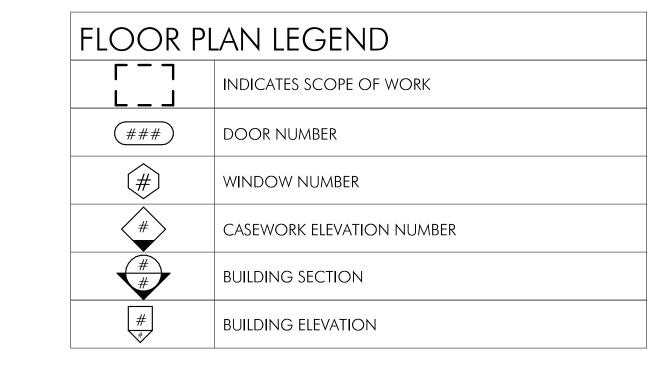
DATE: 2023.12.19

REV DATE:

SITE PLAN AND NOTES

SHEET NUMBER
A0.50

DIMENSIONED PLAN - SECOND LEVEL



GENERAL NOTES

- A. DOORS TO BE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE ANY UTILITY INTERRUPTIONS
- WITH THE OWNER PRIOR TO CONDUCTING WORK.
 C. CONTRACTOR SHALL MAINTAIN REQUIRED WALL RATINGS AT
- PENETRATIONS, INTERSECTIONS, AND CONNECTIONS.

 D. DIMENSIONS PROVIDED ARE TO FACE OF FINISH WALL UNLESS
- NOTED OTHERWISE.

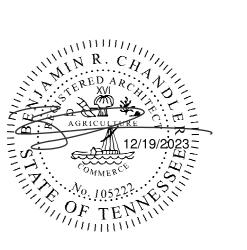
 E. CONTRACTOR SHALL ENSURE WORK COMPLIES WITH ALL
- APPLICABLE ACCESSIBILITY CODES.
 F. PROVIDED MATERIALS SHALL BE INSTALLED PER CODE
- REQUIREMENTS AND MANUFACTURER'S WRITTEN
 RECOMMENDATIONS.
 G. WHEN GRAPHICALLY INDICATED IN SIMILAR AREAS, VERTICALLY
 ALIGN WALL MOUNTED ITEMS INCLUDING OUTLETS,
- THERMOSTATS, FIRE PROTECTION DEVICES, ETC.

 H. CONTRACTOR SHALL PROVIDE, COORDINATE, AND INSTALL GYP
 BOARD CONTROL JOINTS. WALL JOINTS ARE TO BE PLACED AT
 30'-0" MAXIMUM SPACING AND CEILING JOINTS ARE TO BE PLACED
 AT 50'-0" MAXIMUM SPACING.

Area Schedule (Gross Building)		
Level	Area	Comments
01 - FIRST LEVEL	1215 SF	Conditioned
01 - FIRST LEVEL	61 SF	Unconditioned (Porch)
01 - FIRST LEVEL	243 SF	Unconditioned (Porch)
01 - FIRST LEVEL	500 SF	Semi-Conditioned
02 - SECOND LEVEL	1933 SF	Conditioned
	3953 SF	



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ACH Construction of TN

23205A 2023.12.19

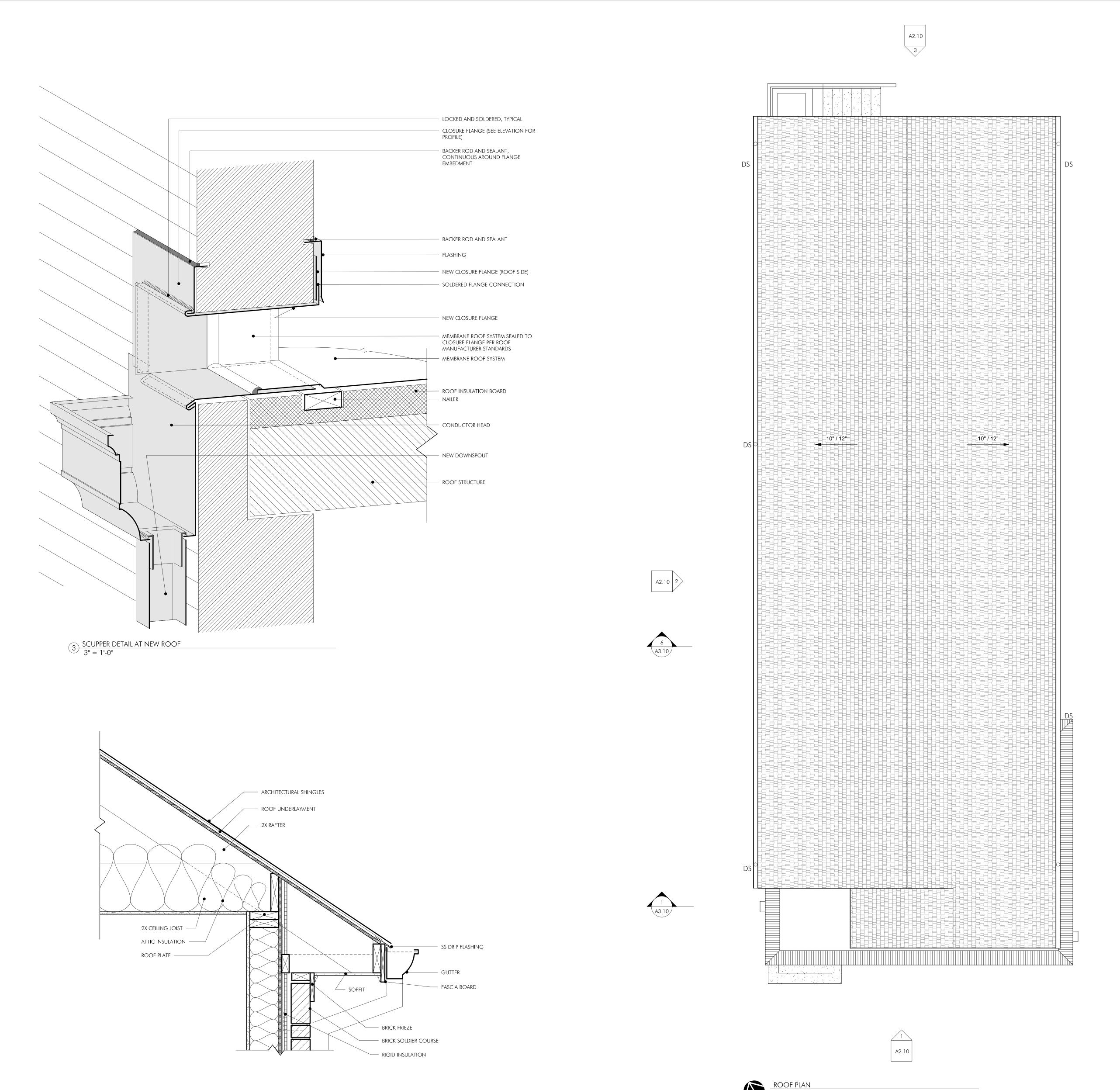
SHEET NAME

PROJECT No.

REV DATE:

DIMENSIONED PLANS

SHEET NUMBER
A1.20

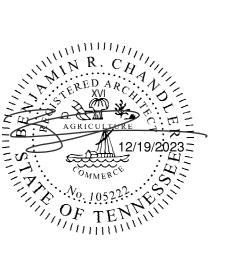


 $2 \frac{\text{SOFFIT - SHINGLED ROOF}}{1 \ 1/2" = 1'-0"}$

ROOF PLAN LEGEND		

4 A2.10

daniels chandler 4



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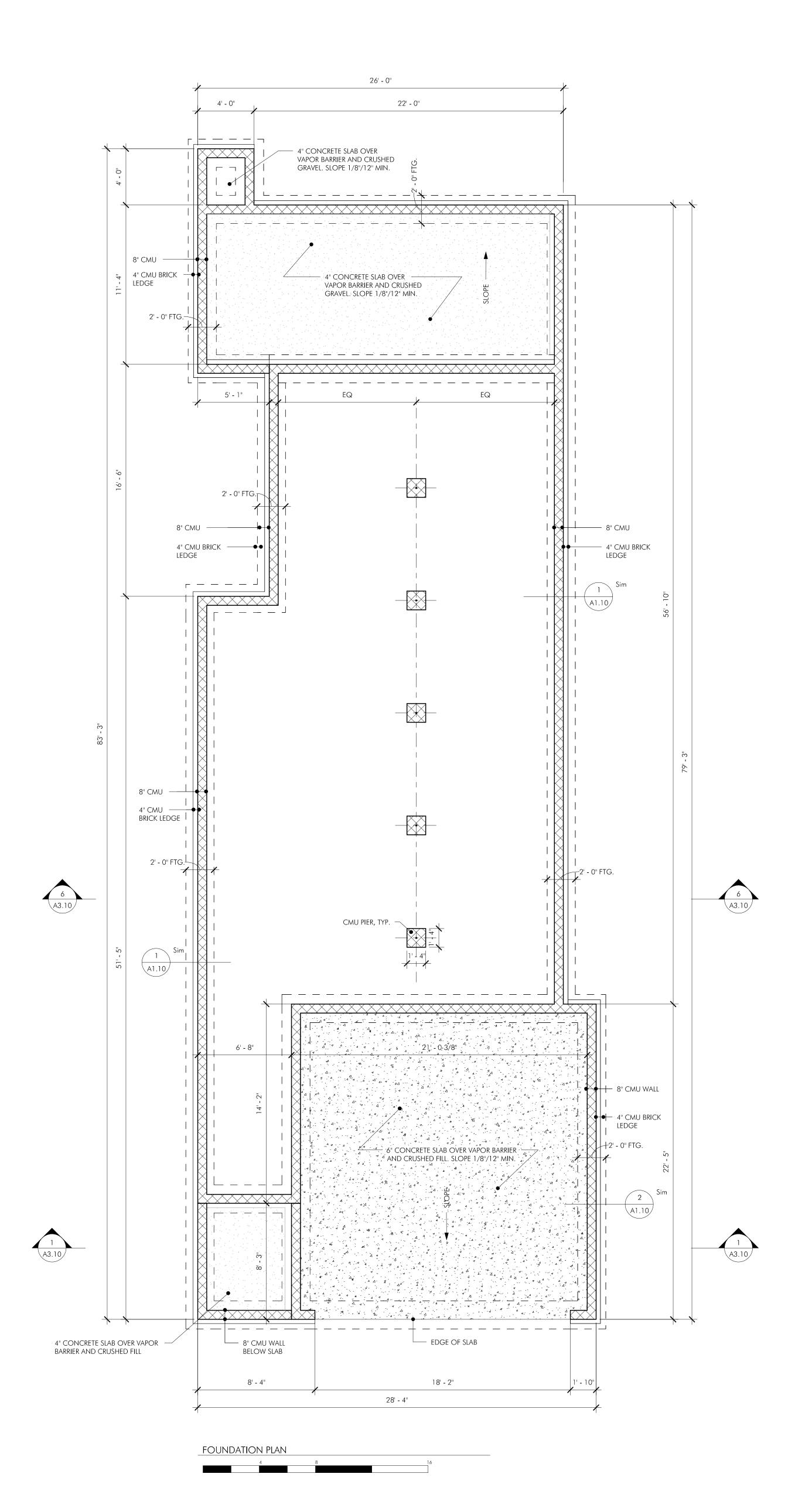
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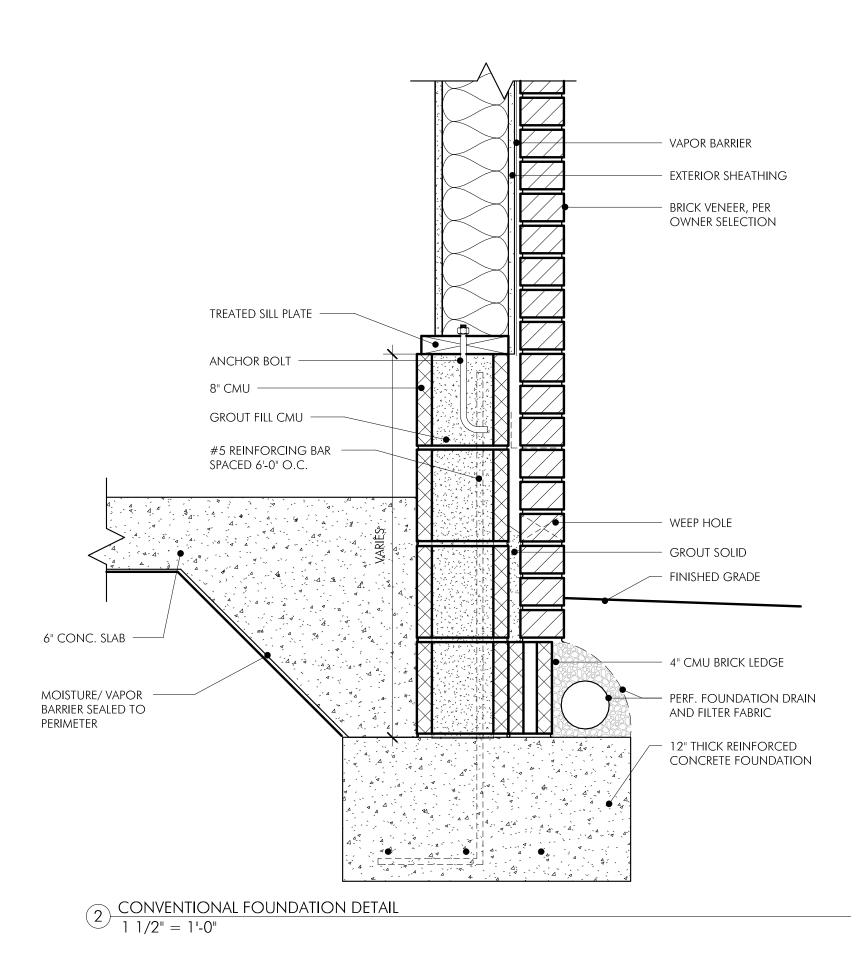
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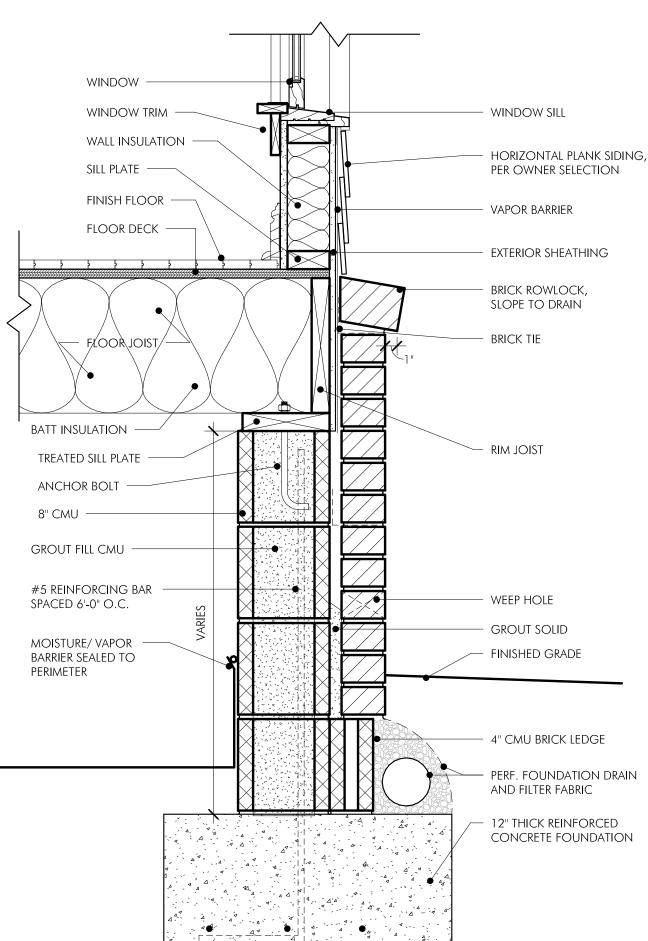
SHEET NAME

roof plan

SHEET NUMBER
A1.30







1 1/2" = 1'-0"

FOUNDATION LEGEND	
	8" CMU FOUNDATION WALL
	4" CMU BRICK LEDGE
	CONCRETE SLAB

FOUNDATIONS NOTES

- A. NO FOOTINGS SHALL BE POURED ON LOOSE OR UNSUITABLE
- SOILS, IN WATER OR ON FROZEN GROUND.

 B. ALL EXTERIOR FOOTINGS TO CONFORM TO APPLICABLE CODE
- REQUIREMENTS FOR FROST PROTECTION.

 C. ALLOWABLE PRESUMPTIVE BEARING CAPACITY USED IN DESIGN OF
- THE FOUNDATIONS: 3000 PSF.
- D. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF AT LEAST 3000 PSI AY 28 DAYS.
- E. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT WHICH WILL ENDANGER ADJACENT STRUCTURES, STREETS OR UTILITIES.
- F. BACKFILL SHALL NOT BE PLACED AGAINST FOUNDATION WALL UNTIL FLOOR SYSTEM IS IN PLACE OR THE FOUNDATION WALLS ARE ADEQUATELY BRACED AT THE TOP OF THE WALL.
- G. FOUNDATION ANCHORAGE SHALL CONSIST OF A MINIMUM OF 5/8" DIAMETER ANCHOR BOLTS AT 6'-0" O.C., 9' MINIMUM EMBEDMENT IN CONCRETE. PROVIDE SUFFICIENT BOLT LENGTH FOR BOLTING TO SILL WITH WASHER AND NUT.

SPECIAL INSPECTIONS

THIS SPECIAL INSPECTION PLAN IDENTIFIES THE RESPONSIBILITIES OF THE CONTRACTOR AND THE SPECIAL INSPECTOR IN PERFORMING THE STRUCTURAL TESTING AND INSPECTION WORK REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.

GENERAL CONTRACTOR RESPONSIBILITIES:

A WRITTEN STATEMENT OF RESPONSIBILITIES SUBMIT BE SUBMITTED BY THE CONTRACTOR TO THE BUILDING OFFICIAL AND THE ARCHITECT CONTAINING THE FOLLOWING:

- ACKNOWLEDGE THE SPECIAL REQUIREMENTS WITHIN THESE

 STRUCTURAL SPECIAL INSPECTIONS
- STRUCTURAL SPECIAL INSPECTIONS.

 2. ACKNOWLEDGE THAT CONTROL SHALL BE EXERCISED TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL.
- 3. PROCEDURES FOR EXERCISING CONTROL WITH THE CONTRACTOR'S COMPANY, THE METHOD AND FREQUENCY OF REPORTING, AND THE DISTRIBUTION OF REPORTS.
- 4. IDENTIFICATION AND QUALIFICATIONS OF THE PERSON(S) EXERCISING SUCH CONTROL AND THEIR POSITION(S) IN THE COMPANY.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THE SPECIAL INSPECTOR IS PRESENT FOR ALL WORK REQUIRING SPECIAL INSPECTION. ANY WORK THAT REQUIRES SPECIAL INSPECTION AND IS PERFORMED WITHOUT THE SPECIAL INSPECTOR IS SUBJECT TO BEING DEMOLISHED AND RECONSTRUCTED.

GENERAL CONTRACTOR RESPONSIBILITY TO SPECIAL INSPECTOR: 1. PROVIDE A COPY OF THE CONSTRUCTION DOCUMENTS TO THE

- SPECIAL INSPECTOR.

 2. GIVE ADVANCED NOTICE OF WORK TO SPECIAL INSPECTOR SO THAT SCHEDULING OF PERSONNEL AND TEST MAY HAVE AMPLE TIME TO
- COORDINATE.

 3. PROVIDE SPECIAL INSPECTOR ACCESS TO WORK.
- 4. PROVIDE STORAGE SPACE FOR THE SPECIAL INSPECTOR'S USE.5. PROVIDE LABOR TO ASSIST SPECIAL INSPECTOR.

SPECIAL INSPECTOR RESPONSIBILITIES:

- 1. SHALL BE LICENCED PROFESSIONAL ENGINEER IN/ AND PRACTICING IN THE STATE OF TENNESSEE.
- 2. SPECIAL INSPECTOR SHALL BE CERTIFIED TO PERFORM SUCH INSPECTIONS.
- SPECIAL INSPECTOR SHALL KEEP RECORDS OF ALL INSPECTIONS AND PROVIDE REPORTS TO THE BUILDING OFFICIAL AND THE ARCHITECT.
 DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION
- OF THE GENERAL CONTRACTOR FOR CORRECTION.

 5. IF CORRECTIONS ARE NOT SATISFACTORY TO THE SPECIAL
- INSPECTOR, THE BUILDING OFFICIAL AND THE ARCHITECT SHALL BE NOTIFIED OF THE DISCREPANCY.

 6. REPORT OF INSPECTIONS THAT DOCUMENT REQUIRED SPECIAL
- 6. REPORT OF INSPECTIONS THAT DOCUMENT REQUIRED SPECIAL INSPECTIONS, DISCREPANCIES, AND CORRECTIONS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR AND ARCHITECTS FOLLOWING EACH INSPECTION.

SPECIAL INSPECTIONS:

CAST-IN-PLACE CONCRETE

- MANUFACTURER'S DATA FOR TENSILE AND COMPRESSIVE SPLICES SHALL BE SUBMITTED
- 2. ESTABLISH CONCRETE MIX DESIGN PROPORTIONS PER ACI 318, CH. 5. SUBMIT CONCRETE MIX DESIGN TO INCLUDE; TYPE AND QUANTITY OF MATERIALS, SLUMP, AIR CONTENT, FRESH UNIT WEIGHT, AGGREGATES SIEVE ANALYSIS, DESIGN COMPRESSIVE STRENGTH, LOCATION OF PLACEMENT STRUCTURE, METHOD OF PLACEMENT, METHOD OF CURING, SEVEN-DAY AND 28-DAY
- COMPRESSIVE STRENGTHS.

 3. CERTIFICATION STATING MATERIALS MEET THE REQUIREMENTS OF THE SPECIFICATION ASTM AND ACI STANDARDS MUST BE SUBMITTED
- FROM EACH MANUFACTURE.

 4. CERTIFICATION FROM THE READY-MIXED CONCRETE PLANT MUST BE SUBMITTED SHOWING PLAN COMPLIES WITH THE REQUIREMENTS OF

THE FOLLOWING SHALL BE PERFORMED BY THE SPECIAL INSPECTOR: 1. VERIFY GRADE, QUANTITY, LOCATION, AND PLACEMENT OF THE

THE NATIONAL READY-MIX CONCRETE ASSOCIATION.

- REINFORCING STEEL PRIOR TO CONCRETE PLACEMENT.

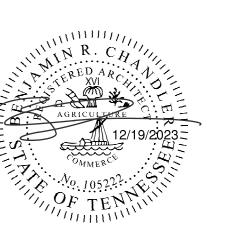
 2. EXAMINE CONCRETE IN TRUCK TO VERIFY CONCRETE APPEARS PROPERLY MIXED.
- 3. PERFORM A SLUMP TEST AS DEEMED NECESSARY FOR EACH CONCRETE LOAD. RECORD IF WATER OR ADMIXTURES ARE ADDED TO THE CONCRETE AT THE JOB SITE. PERFORM ADDITIONAL SLUMP TEST AFTER JOB SITE ADJUSTMENTS.
- 4. INSPECT SIZE, POSITIONING AND EMBEDMENT OF ANCHOR RODS. INSPECT CONCRETE PLACEMENT AND CONSOLIDATION AROUND ANCHORS.
- 5. INSPECT PLACEMENT OF CONCRETE. VERIFY THAT CONCRETE CONVEYANCE AND DEPOSITING AVOIDS SEGREGATION OR CONTAMINATION, VERIFY THAT CONCRETE IS PROPERLY CONSOLIDATED.
- 6. INSPECT CURING, COLD WEATHER PROTECTION AND HOT WEATHER PROTECTION PROCEDURES.
- 7. MOLD FIVE SPECIMENS PER SET FOR COMPRESSION STRENGTH TESTING; ONE SET FOR EACH 50 CUBIC YARDS OF EACH MIX DESIGN PLACED IN ANY ONE DAY. RECORD THE FOLLOWING FOR EACH SET MOLDED; SLUMP, AIR CONTENT, UNIT WEIGHT, TEMPERATURE (AMBIENT AND CONCRETE), LOCATION OF PLACEMENT, ANY PERTINENT INFORMATION. PERFORM ONE 7-DAY AND TWO 28-DAY COMPRESSIVE STRENGTH TEST.
- 8. COMPRESSIVE STRENGTH TEST.

 8. COMPRESSIVE TEST REPORTS SHALL CONTAIN PROJECT NAME AND NUMBER, CONCRETE PLACEMENT DATE, TESTING AGENCY NAME, CONCRETE DESIGN COMPRESSIVE STRENGTH, PLACEMENT LOCATION, TYPE OF BREAK, AND COMPRESSIVE BREAKING

STRENGTH.



611 Commerce Street. Ste 27



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sidence for:

Construction of TN

515A C Nashvil

 PROJECT No.
 23205A

 DATE:
 2023.12.19

 REV DATE:

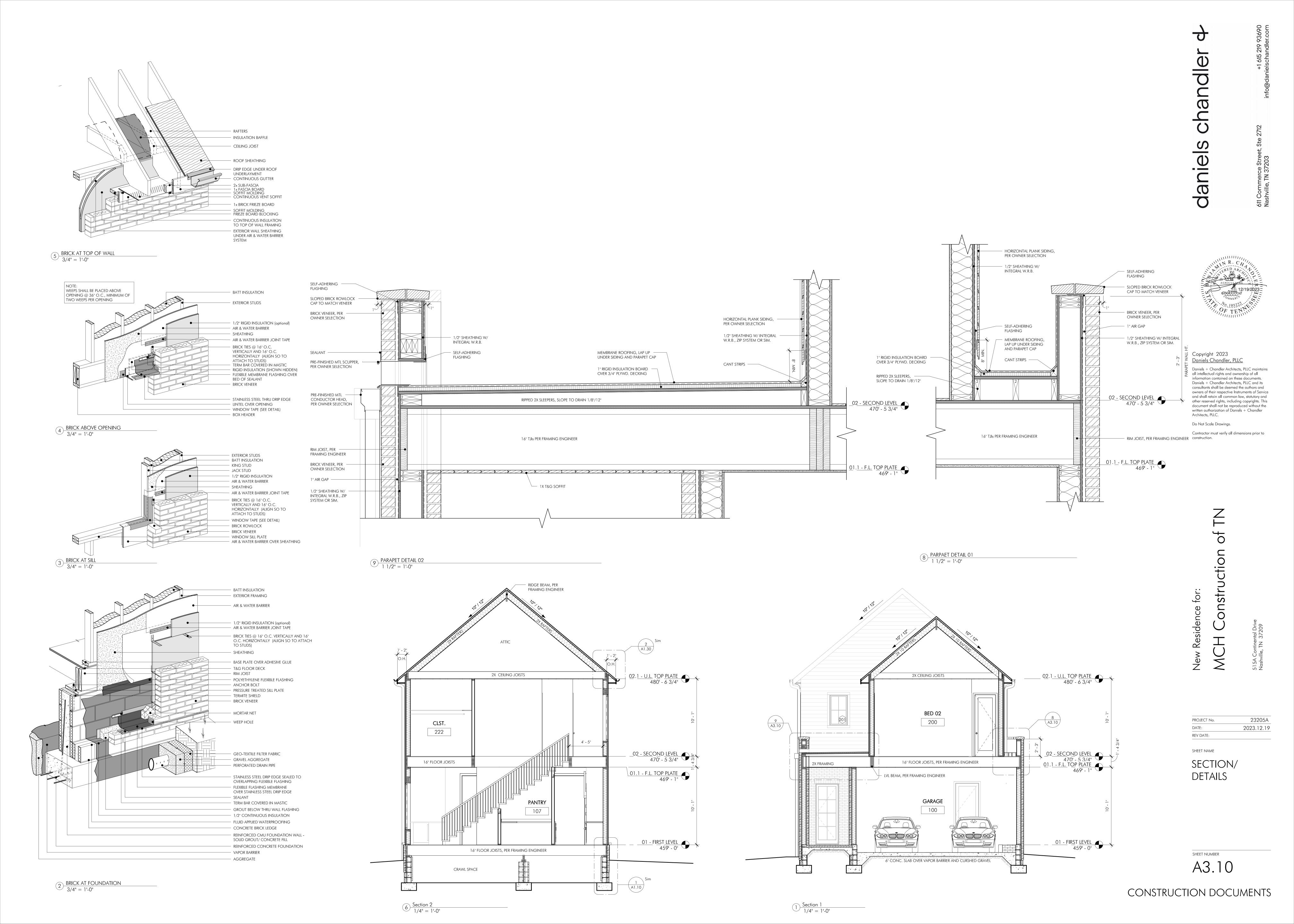
SHEET NAME

FOUNDATION PLAN

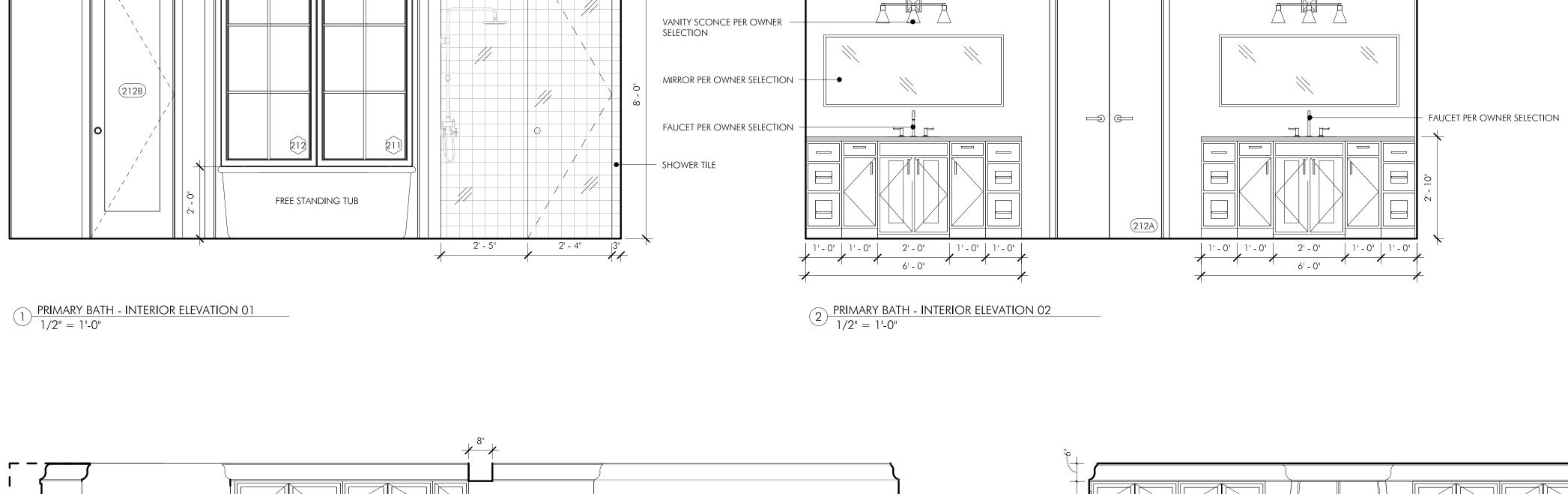
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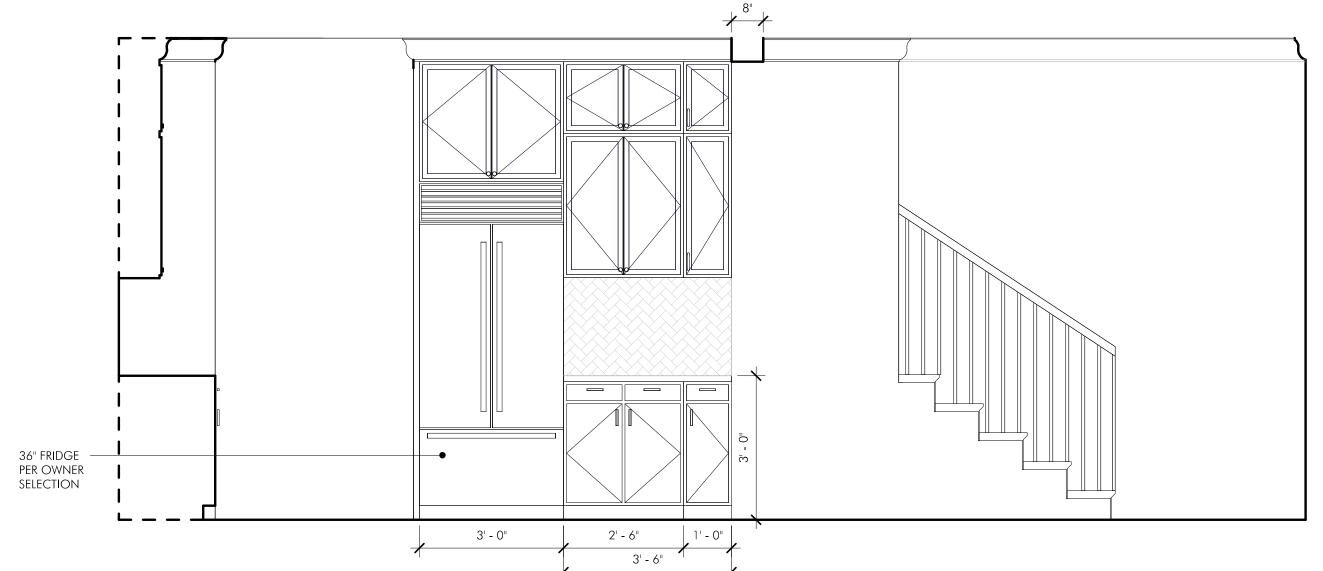
CONSTRUCTION DOCUMENTS



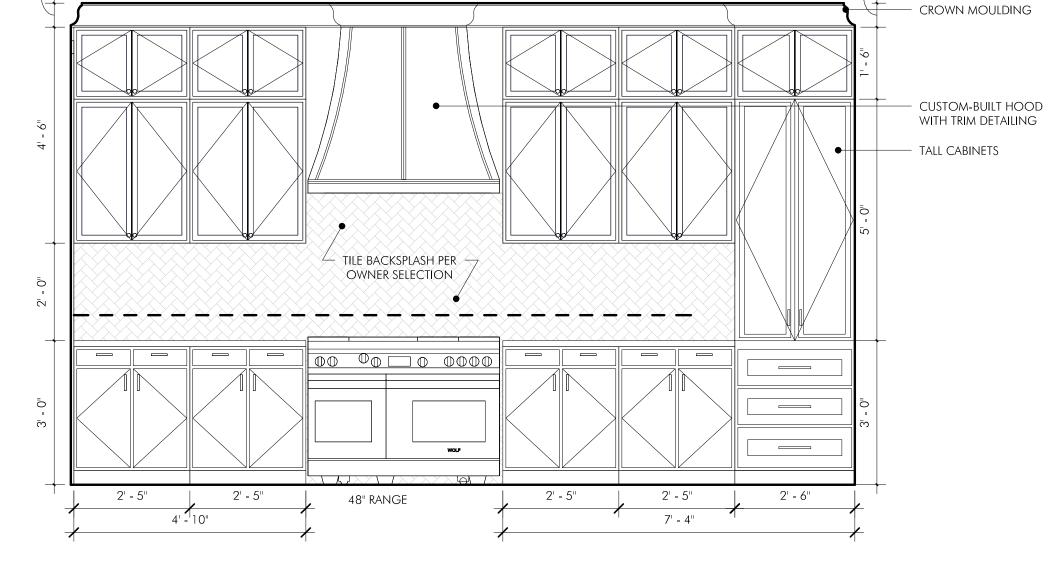


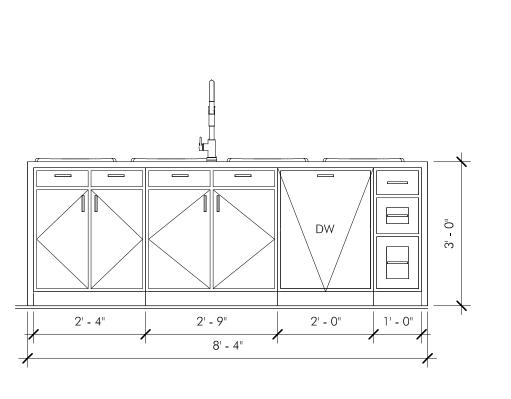
onstruction





 $\frac{\text{KITCHEN - INTERIOR ELEVATION 01}}{1/2" = 1'-0"}$





 $4 \frac{\text{KITCHEN - INTERIOR ELEVATION 02}}{1/2" = 1'-0"}$

5 KITCHEN ISLAND - INTERIOR ELEVATION 01 1/2" = 1'-0"

23205A PROJECT No. DATE: 2023.12.19

REV DATE:

Residence for:

SHEET NAME INTERIOR ELEVATIONS

SHEET NUMBER A7.10